

A G E N D A

Architectural Review Board

April 28, 2015

Council Auditorium, City Hall

ARCHITECTURAL REVIEW BOARD MEMBERS

Mr. Walter L. Bush, Jr., Chairman

Ms. Elizabeth Brown, Vice-Chairman

Mr. David Payne

Mr. Tony Hickman

Rev. Willie Welch

Mr. Cedric Campbell

Mr. John Foshee

Mr. Jon Hayden

Ms. Katie Williams

PLANNING CONTROLS DIVISION

I. Approval of the Actions from the March 24, 2015, meeting

II. Full Review Items

<u>Item</u>	<u>Petitioner</u>	<u>Historic District</u>	<u>Location</u>
1.	Jessica Missildine	Old Cloverdale	1527 E. Fairview Avenue
2.	Jesse Livingston	Capitol Heights-St. Charles	36 N. Lewis Street
3.	Kelli & Chris Lazidis	Cloverdale Idlewild	3340 Montezuma Road
4.	Robbie Rhye	Garden District	1907 Norman Bridge Court
5.	George Trawick	Lower Commerce	80 Commerce Street
6.	Michael Jenkins	Garden District	1314/1316 S. Hull Street
7.	Robert & Brandy Price	Old Cloverdale	740 Felder Avenue

III. Other Business/Announcements

**The next meeting of the Architectural Review Board will be on
Tuesday, May 26, 2015 at 5:30 p.m.**

1. PRESENTED BY: Jessica Missildine

SUBJECT: Request for approval of front door detail replacement for the property located at 1527 E. Fairview Avenue (Old Cloverdale).

REMARKS: The petitioner is requesting permission to remove an existing vinyl pediment and vinyl trim from the front door surround and replace it with a simpler, wood surround as illustrated.

At the February 24th ARB meeting, the Board requested that the petitioner consider a pediment with more detail than the proposed plain door surround. The new submission includes a rectilinear pediment with crown and corbels as illustrated.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

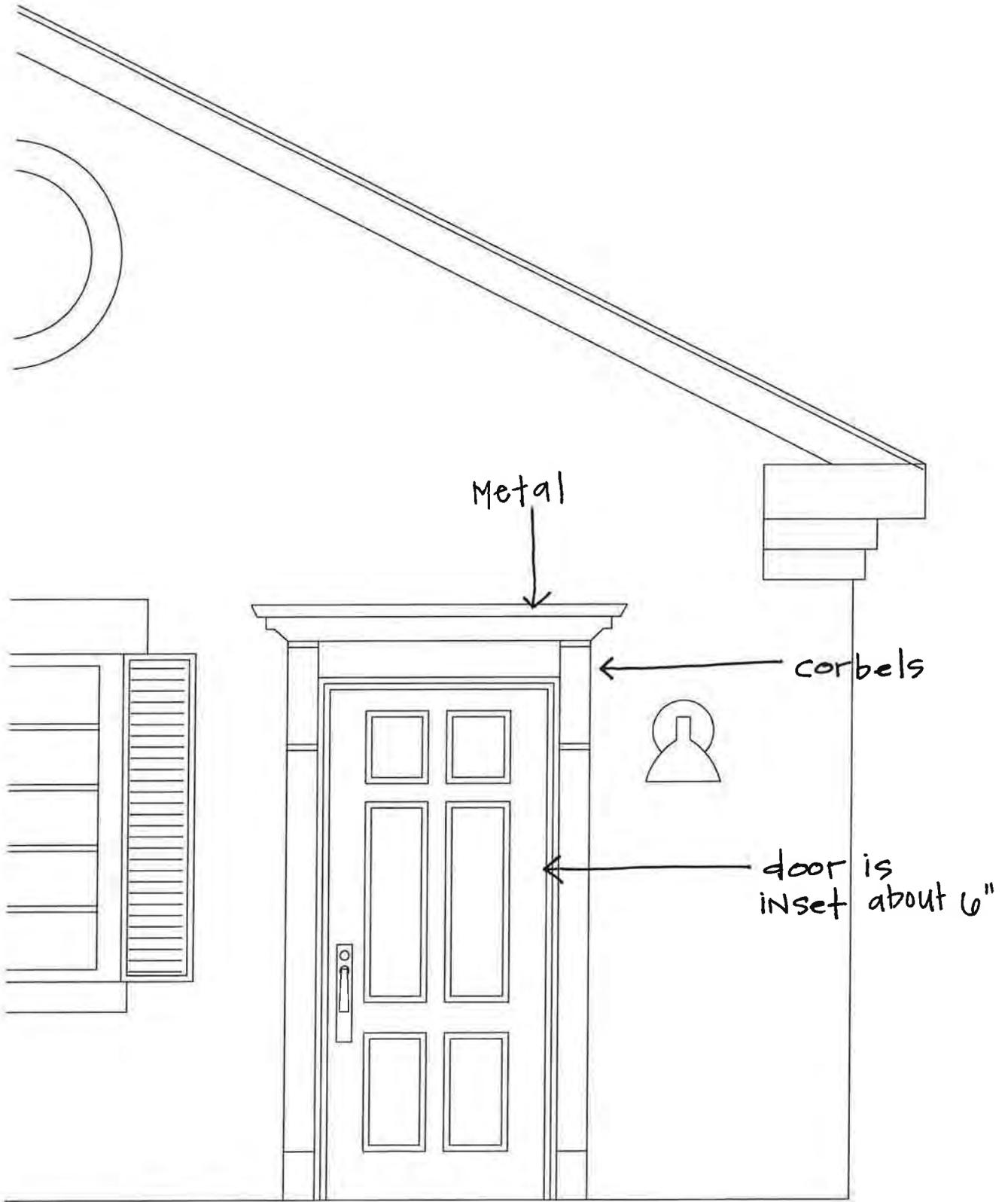
- The house was built in 1940. Minimal Traditional houses often had details that were loosely based on earlier colonial styles. Houses of similar style in Cloverdale have a range from plain to very ornate door surround details. The Board needs to determine if changing the pediment design to a plain, rectilinear design is appropriate for this style of house.

COMMENTS _____

ACTION TAKEN _____



1527 E. Fairview Avenue



1/2" scale
1527 FAIRVIEW AVENUE

INSPIRATION PHOTO U



2. PRESENTED BY: Jesse Livingston

SUBJECT: Request for approval of a rear yard fence for the property located at 36 North Lewis Street (Capitol Heights-St. Charles).

REMARKS: The petitioner is requesting permission to install a 6' dog eared unpainted cypress privacy fence around the rear yard as illustrated on the site plan. The fence will return to the rear corner of the house on the north (left/street) side and approximately 12' from the rear corner on the south/right side. The fence will have a walk through gate. The gate will match the fence in design and materials.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- Because this property is on a corner lot, the petitioner has also made application to the Board of Adjustment to place the fence on the St. Charles property line. Staff recommends the ARB approve the proposed placement, as well as placing the fence in line with the house in the event the BOA does not approve the street side variance.
- The Board has routinely approved 6' privacy fences in rear yards, which is standard in the guidelines.

COMMENTS _____

ACTION TAKEN _____



36 North Lewis Street

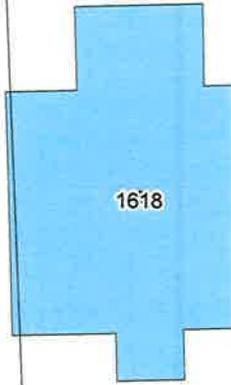
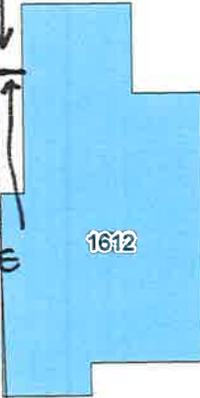
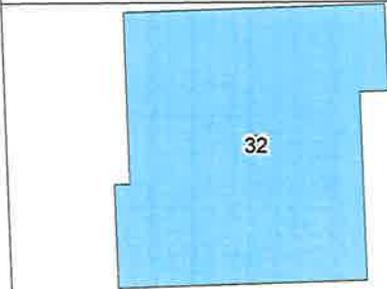
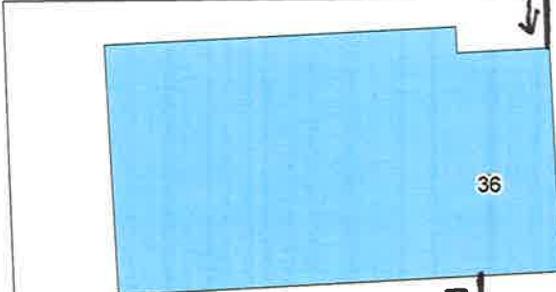
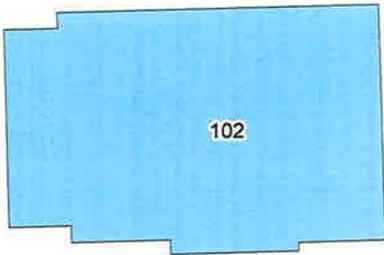


36 North Lewis Street

ST CHARLES AVE

509

N LEWIS ST



NEW FENCE →

walkthrough gate

← EXISTING FENCE

30

3. PRESENTED BY: Kelli & Chris Lazidis

SUBJECT: Request for approval of rear door opening and deck extension for the property located at 334 Montezuma Road (Cloverdale Idlewild)

REMARKS: The petitioner is requesting permission to add a new rear 36” 15 lite door in a new opening and to extend the existing deck to accommodate the door (the current deck does not extend to the proposed door location). Currently the only access to the rear of the house is through French doors in the master bedroom, the new door would allow rear yard access from an existing interior hall.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- Any door with a lite configuration needs to have a simulated (permanent grid on the glass) or true divided lite configuration, and not just a grid between the glass.

COMMENTS _____

ACTION TAKEN _____



3340 Montezuma Road



3340 Montezuma Road



3340 Montezuma Road



3340 Montezuma Road



3340 Montezuma Road

4. PRESENTED BY: Robbie Rhye

SUBJECT: Request for approval of porch alterations, shutter, tree removal and door replacement for the property located at 1907 Norman Bridge Court (Garden District).

REMARKS: The petitioner is requesting permission to:

- Remove existing shutters and either repaint, leave them down, or replace with cedar shutters (example to be provided);
- Replace demi-lune front door with a multi-lite door. Three options are illustrated: a 9 lite door, a 4 lite door, and a 6 lite door;
- Remove 2 cedar trees (one is deceased) at the front corners of the house;
- Front porch alterations. Install handrails and additional columns on the front porch in configuration illustrated. Columns will be repaired or replaced: option 1—remove columns from the back porch for use on the front porch; option 2 remove existing columns and replace with 12” fiberglass columns to match. The proposal includes adding columns to the front porch, and grouping the corner columns more closely together than they are currently. Proposed railing is metal, as illustrated. Porch will be repoured concrete in the same footprint, repour front steps.
- Rear porch alterations. New poured concrete porch in same footprint as existing. Columns: reusing columns on front porch and replacing existing columns with 10” fiberglass columns (existing columns are 12”); option 2 uses the front porch columns; option 3 steel columns clad with wood to match detail in drawing C2; option 4 replace rear columns with 12” fiberglass columns. Add an additional column to the left of the steps where illustrated. Repour steps, rescreen porch centering the door on the steps.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

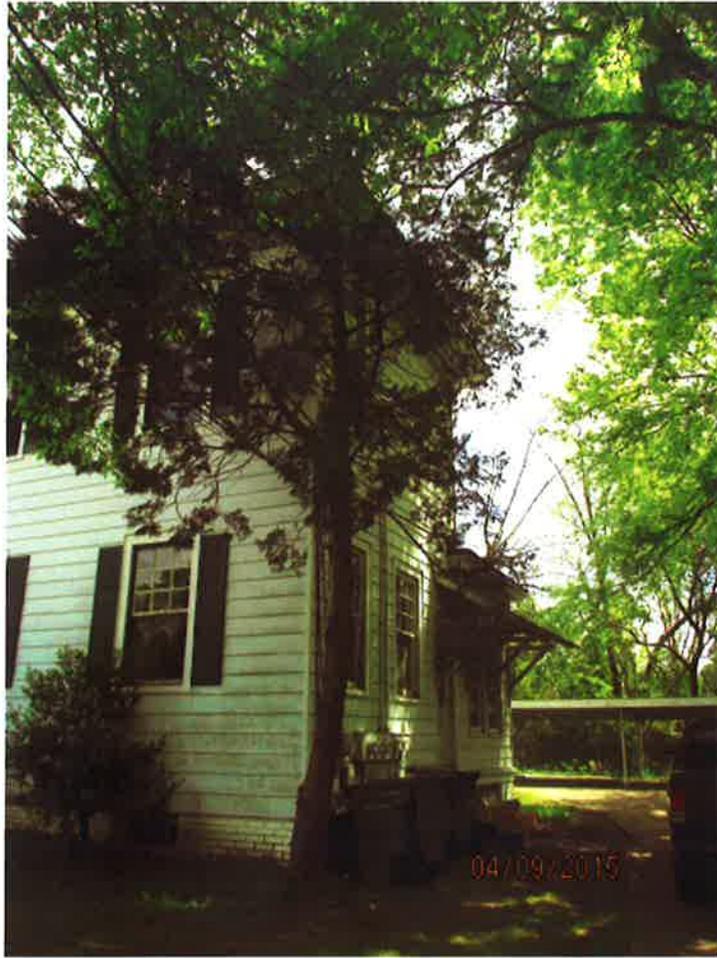
- Urban Forester recommends removal of living cedar subject to replacement.
- The ARB has recently approved fiberglass columns that matched the historic column replacement on a front porch project.
- The proposed 9-lite door matches other doors on the building, the 4 and 6 lite doors are more modern configurations. Any door with a lite configuration needs to have a simulated (permanent grid on the glass) or true divided lite configuration, and not just a grid between the glass.

COMMENTS _____

ACTION TAKEN _____



1907 Norman Bridge Road



1907 Norman Bridge Road



1907 Norman Bridge Road



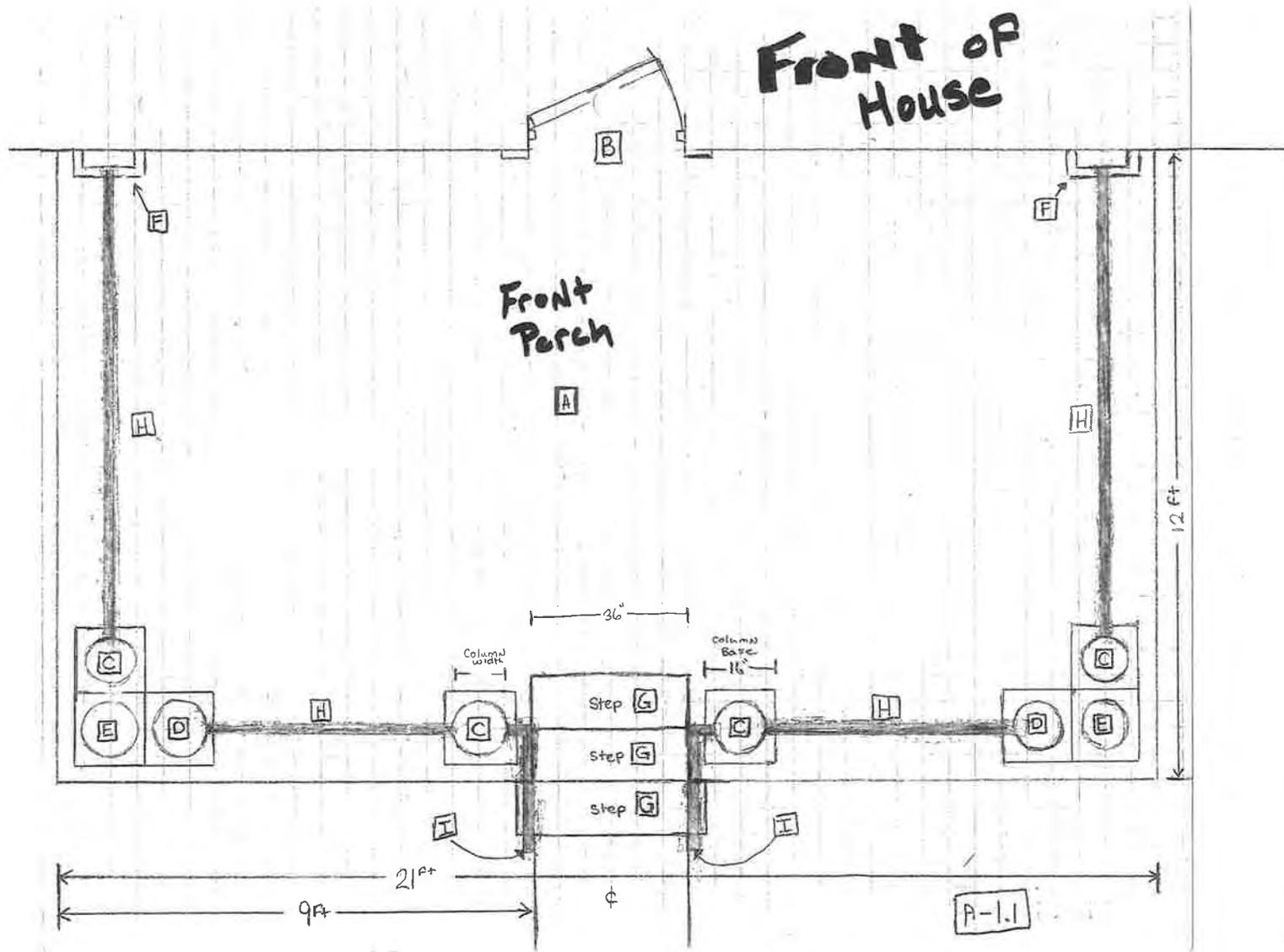
As of 3/20/15



rendering

Front of House

Front Porch



Construction Notes:

- A. New poured concrete porch to match existing grade and layout. Contractor will form the border of the porch with CMU blocks around the perimeter 4" below grade of porch. CMU blocks backfilled with concrete. Sand will be used to fill inside perimeter of CMU blocks to bring interior to grade. Contractor will then place a 4" concrete slab reinforced with 6"x6" welded wire mesh.
- B. New front door to be Installed. Existing front door is seen on FD-1. Would like permission to install a new FIR door. Requested options are highlighted on FD-2.
- C. REPLACE/REPAIR Columns (Permission to change Configuration to match provided Drawing A-1.1 as illustrated by RANSOM HOUSE photo (SEE RH-1.1). If denied options below still need consideration and layout will match Photo P-1 attached):
 - Option 1. Columns removed from the back porch and relocated to the front porch.
 - Option 2. Columns removed from the front porch and relocated to the back porch.
- D. Permission to Move column in 10" toward corner post to match provided RANSOM HOUSE photo (SEE RH-1.1) and historical configuration.
- E. Existing Round Column to remain in current location.
- F. Existing Square Column to remain in current location.
- G. New poured concrete steps.
- H. Optional Guardrail locations, Contractor would like approval to install new Metal Guardrails between the columns for safety of the residents. See Drawing A-1.2 detail GR-1
- I. Optional Handrail locations. Contractor would like approval to install new Metal Handrails at the steps for safety of the residents. See Drawing A-1.2 detail RC-1

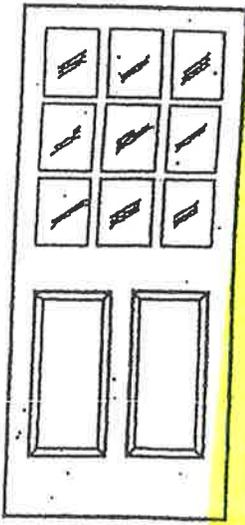
P-1.1



FD-1

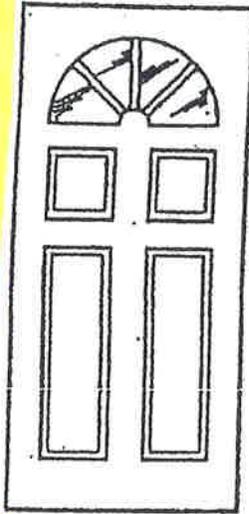


Option 1

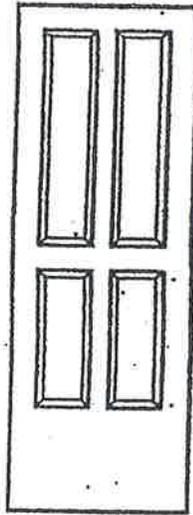


944

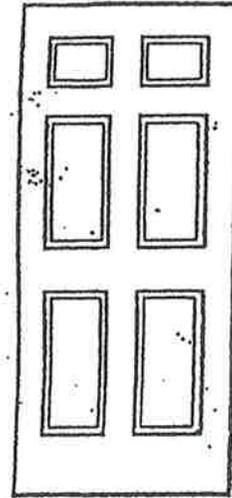
Wood door: FIR



2020



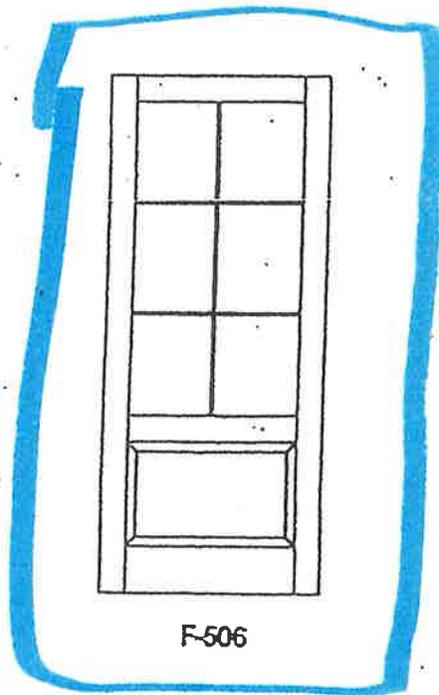
2044



2130



F-504



F-506

FIR

FD-2





← 57" →

← 9' →

← 3' →

← 41" →

10"

← 9' →

← 21' →

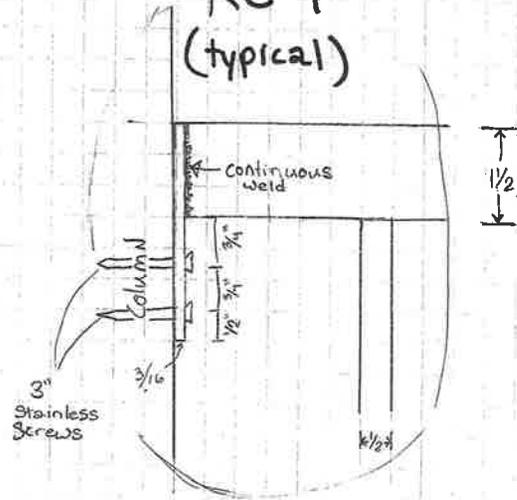
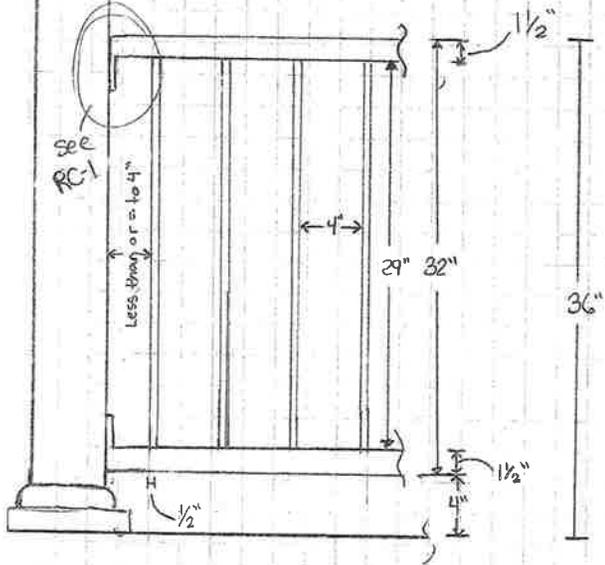
← 12' →

P-1

GR-1
typical
(section)

H I

RC-1
(typical)



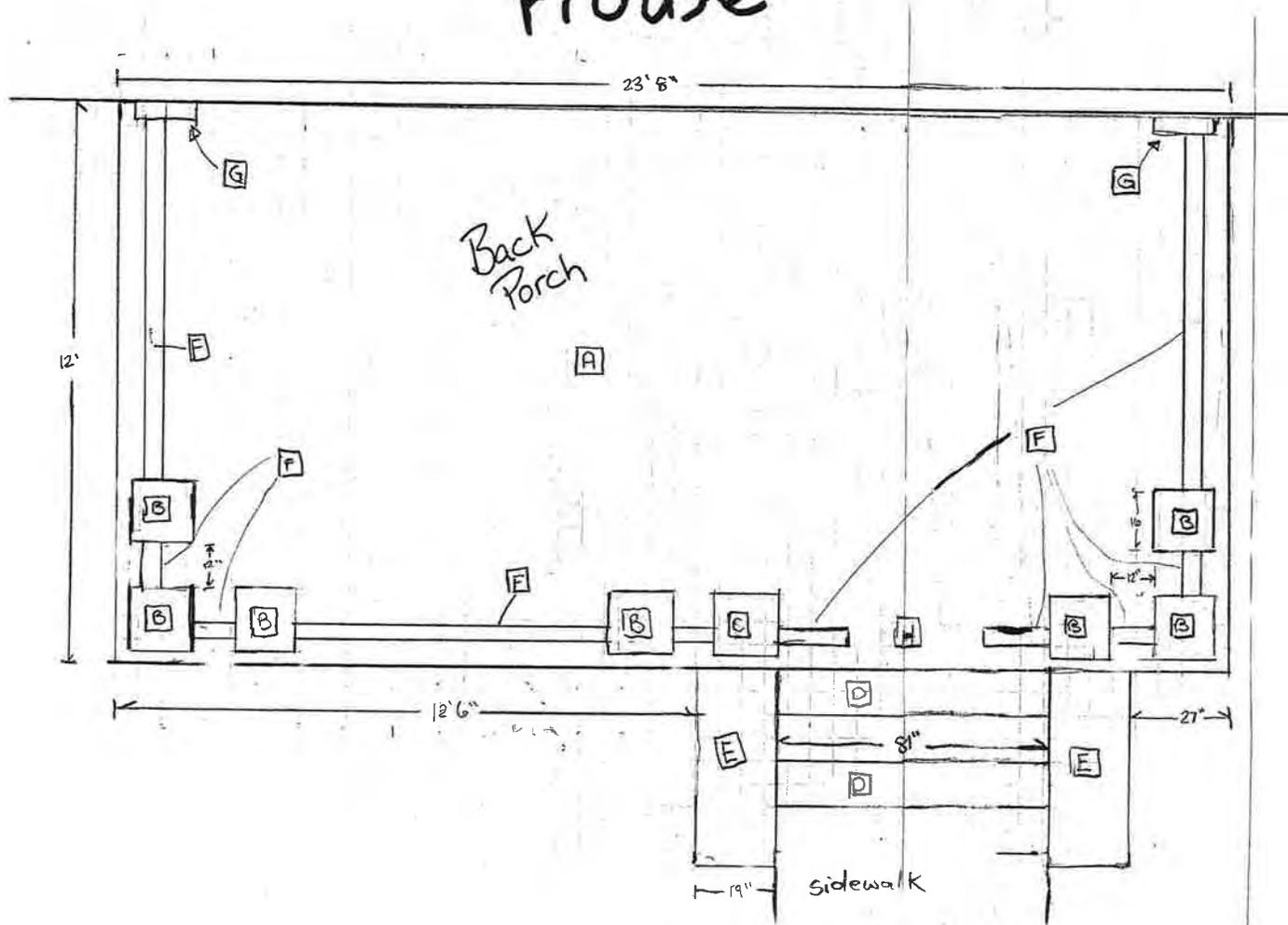
A-1.2



Back Porch

BP-1

Back of House



Construction Notes:

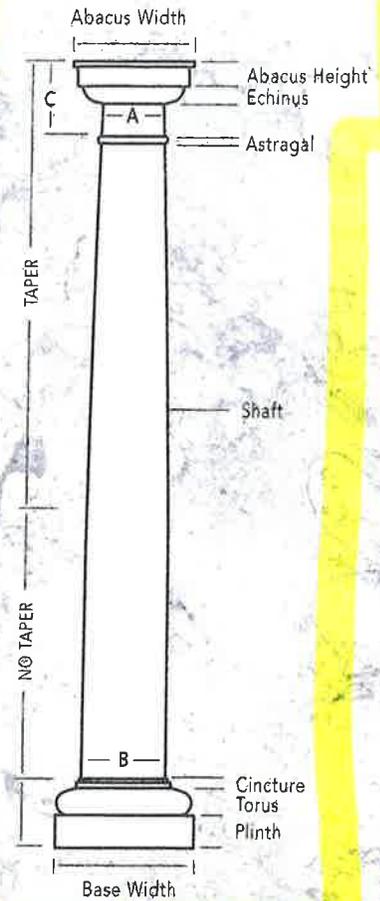
- A. New poured concrete porch to match existing grade and layout. Contractor will form the boarder of the porch with CMU blocks around the perimeter 4" below grade of porch. CMU blocks backfilled with concrete. Sand will be used to fill inside perlmeter of CMU blocks to bring interior to grade. Contractor will then place a 4" concrete slab reinforced with 6"x6" welded wire mesh.
- B. REPLACE/REPAIR Columns:
 - Option 1. Columns removed from the back porch and relocated to the front porch. Entire back porch to be replaced with 10" fiberglass columns (see photo C1).
 - Option 2. Columns removed from the Front porch and relocated to the back porch. Entire Front porch to be replaced with 12" fiberglass columns (see photo C1).
 - Option 3. Columns removed from the back porch and relocated to the front porch. Round columns will be replaced with 3.5"x3.5" steel posts. These steel post will then be wood clad to match square column detail drawings (see Drawing C2)
 - Option 4. Columns removed from the Back porch and relocated to the Front porch. Entire Back porch to be replaced with 12" fiberglass columns (see photo C1).
- C. Missing column. By looking at Picture BP-1 you will notice a missing column highlighted in orange. Permission to add column back to historical placement. Will be uniform with option chosen above.
- D. Request permission for New poured concrete steps (may not be necessary)
- E. Reuse of existing top caps
- F. Repair of existing screened in porch (may require complete demolition)
- G. Existing column to remain
- H. Permission to center door on screened in porch (highlighted in blue on Photo BP-1)

Specifications

C-1

PRO-CAST SMOOTH TAPERED COLUMNS

Size	Weight (lbs.)	DIMENSIONS			Taper From Bottom	*Centered Load Limit (lbs.)	Skid Quantities
		Outside Shaft A	Outside Base B	Neck Height C			
6" x 8'	40	4"	5-11/16"	5"	33"	8,000	30
8" x 5'	38	6-1/4"	7-5/8"	5-1/4"	5"	10,000	16
8" x 6'	40	6-1/4"	7-5/8"	5-1/4"	6"	10,000	16
8" x 8'	51	6-1/4"	7-5/8"	5-1/4"	33"	10,000	16
8" x 9'	66	6-1/4"	7-5/8"	5-1/4"	28"	10,000	16
8" x 10'	71	6-1/4"	7-5/8"	5-1/4"	42"	10,000	16
10" x 5'	55	7-1/2"	9-5/8"	6-1/2"	5"	14,000	12
10" x 8'	72	7-1/2"	9-5/8"	6-1/2"	33"	14,000	12
10" x 9'	85	7-1/2"	9-5/8"	6-1/2"	28"	14,000	12
10" x 10'	100	7-1/2"	9-5/8"	6-1/2"	42"	14,000	12
10" x 12'	126	7-1/2"	9-5/8"	6-1/2"	50"	14,000	12
12" x 8'	109	9-1/4"	11-5/8"	8"	33"	18,000	9
12" x 9'	126	9-1/4"	11-5/8"	8"	28"	18,000	9
12" x 10'	132	9-1/4"	11-5/8"	8"	42"	18,000	9
12" x 12'	154	9-1/4"	11-5/8"	8"	50"	18,000	9
14" x 8'	153	11-1/2"	13-5/8"	8-1/4"	N/A	20,000	4
14" x 10'	160	11-1/2"	13-5/8"	8-1/4"	N/A	20,000	4
14" x 12'	184	11-1/2"	13-5/8"	8-1/4"	15"	20,000	4
16" x 10'	189	13-7/8"	15-1/2"	8-3/4"	N/A	20,000	4
16" x 12'	221	13-7/8"	15-1/2"	8-3/4"	48"	20,000	4

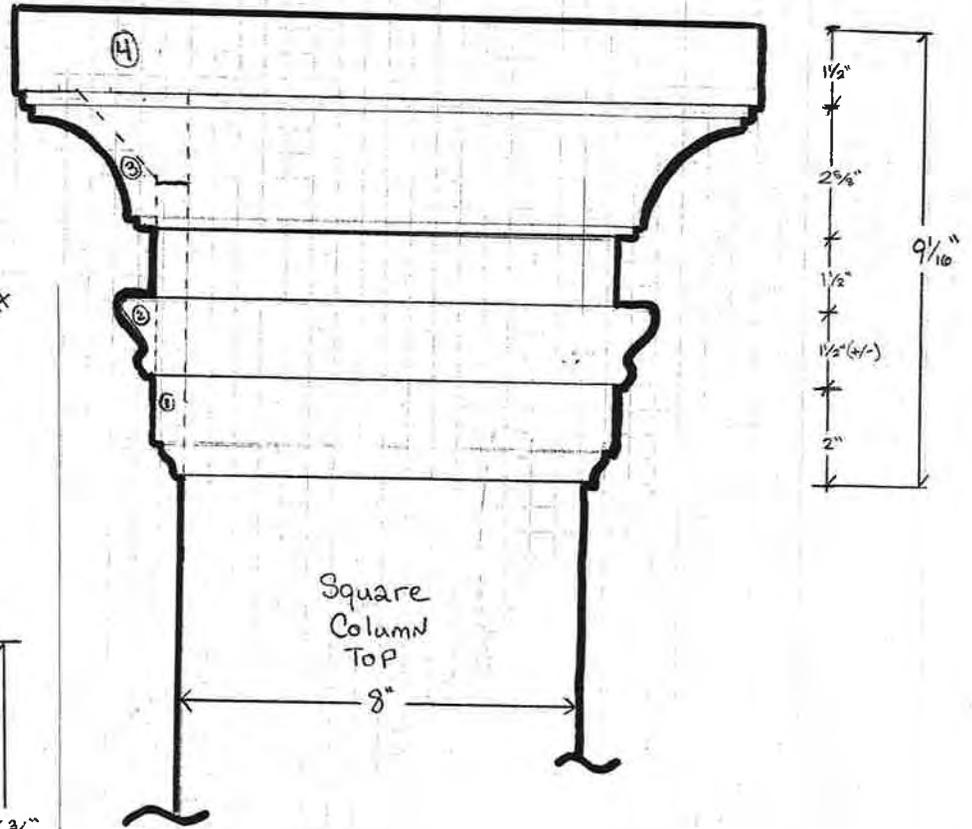
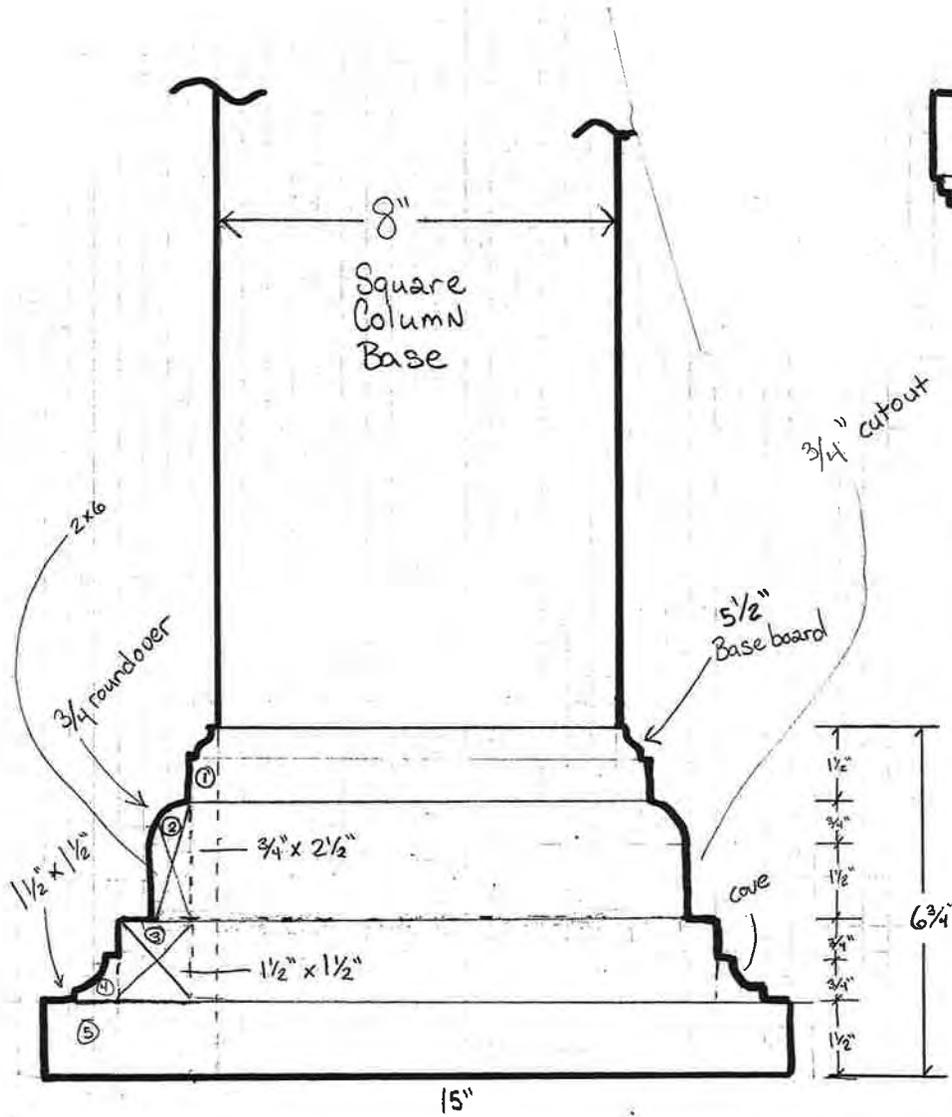


*Load-bearing capacity is dependent on distributing the load evenly over bearing surfaces of the shaft. All installation information is of general nature; columns should be installed and secured (fastened) according to standard construction practices and in compliance with applicable local, state and federal building regulations. Note: 2nd story balconies should not be attached directly to the side of any column.

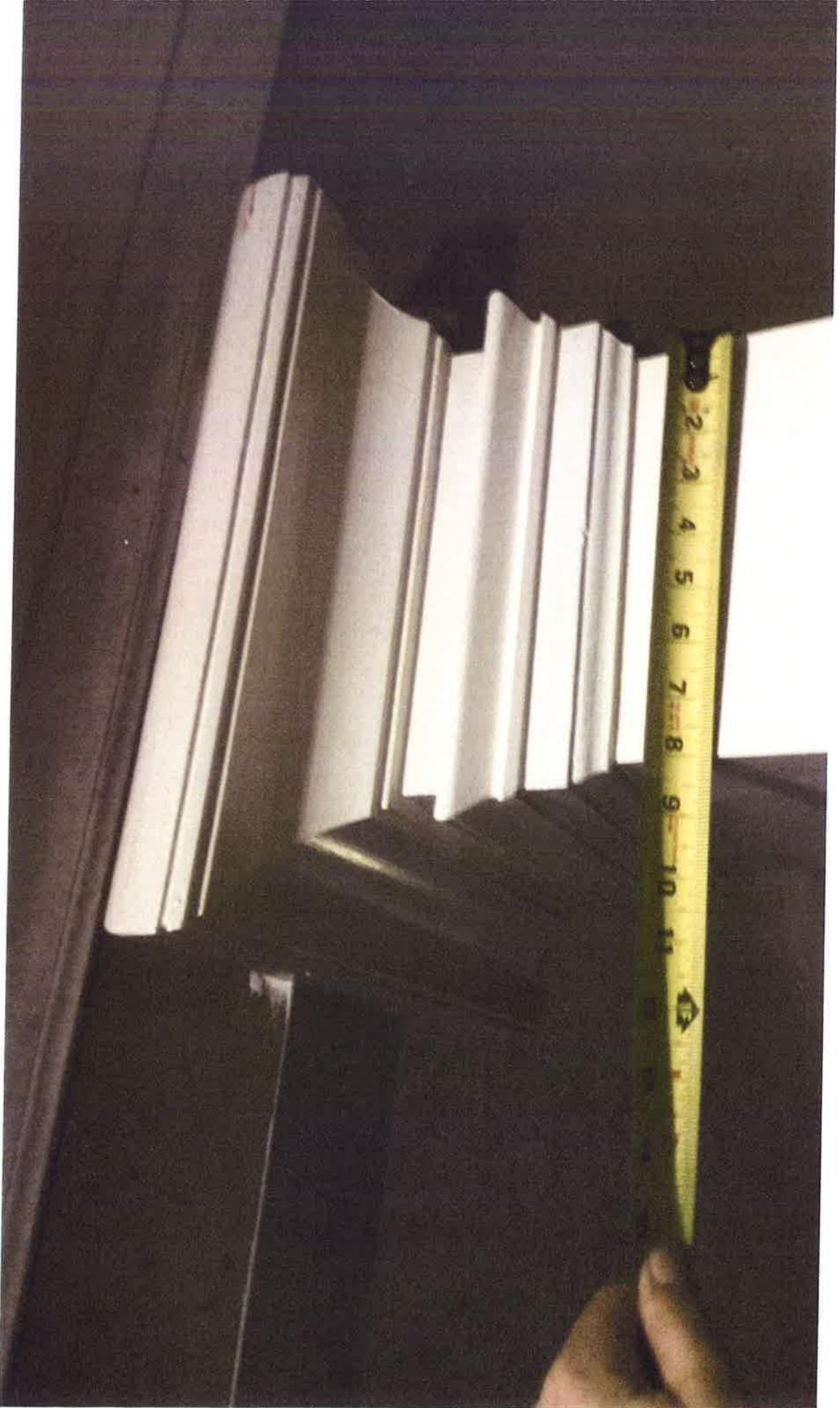
Features

- Load-bearing
- Meets class 1 flame spread classification
- Standard Tuscan capitals and bases
- Decorative capitals available
- Optional drop-down Tuscan capital
- Most sizes ship within 48 hours
- Produced from AFKO manufactured aluminum moulds
- Ideal for interior or exterior installations





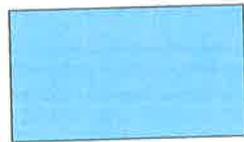
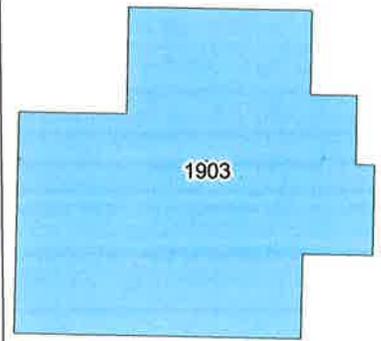
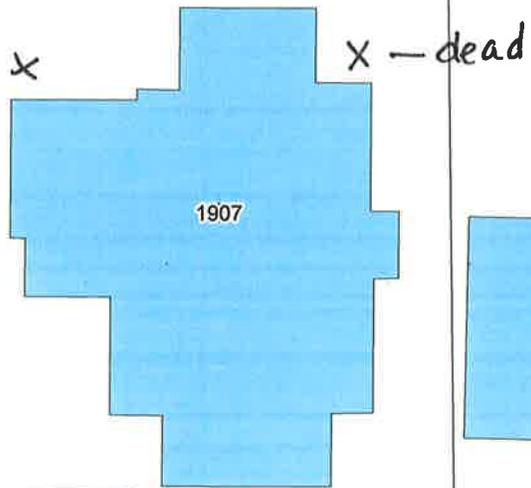
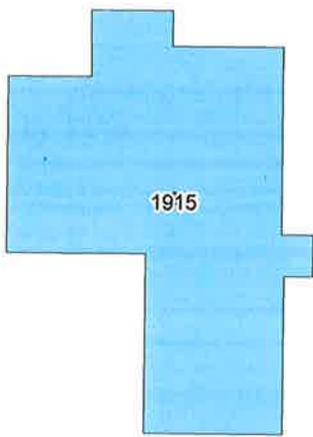
C-2



NORMAN BRIDGE CT

510

tree locations



5. PRESENTED BY: George Trawick

SUBJECT: Request for approval of new storefront and signage for the property located at 80 Commerce Street (Lower Commerce).

REMARKS: The petitioner is requesting permission to replace the current/existing storefront in the right building bay with a store front to match the existing left bay storefront (previously approved) as illustrated. All materials and colors to match the existing left bay storefront (wood and glass). A sign is proposed over the storefront, not to exceed 1' in height by 20' in length (as noted on the drawing), but no specifics have been provided.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- No comment.

COMMENTS _____

ACTION TAKEN _____



80 Commerce Street

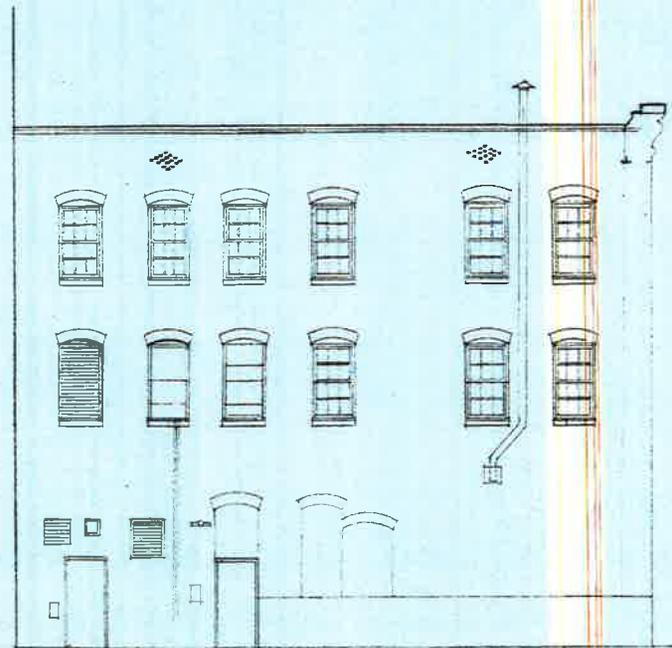


80 Commerce Street



FRONT FACADE
COMMERCE STREET
scale: 1/4" = 1'-0"

← NEW STOREFRONT - WOOD
FRAMED TO MATCH EXIST.
ON LEFT HAND SIDE
OF FACADE - MATCH
EXIST. PAINT COLOR OF
STOREFRONT ON LEFT SIDE



REAR FACADE (EXISTING)

82 COMMERCE
STREET - PROPOSED
CONVENIENCE STORE
FACADE UPDATE

2/FIB/25

ELEVATION FOR
COMMERCE ST. FACADE
NEW W/ FILL STOREFRONT.

6. PRESENTED BY: Michael Jenkins

SUBJECT: Request for approval of revised chimney plan for the property located at 1314/1316 South Hull Street (Garden District).

REMARKS: The petitioner is requesting consideration of a revised chimney replacement plan and would like to have a discussion with the Board regarding options and taking into consideration the weight/structural issues raised at the February 24th, 2015 meeting. The following options have been generated by Board members and staff, Mr. Jenkins may present other alternatives at the meeting:

- Rebuild the chimney exactly how they were. They could be built at the same angle as the house, tied back appropriately to the structure to remove any fear of them falling over, and a working fireplace could be had.
- The chimneys could be built using solid masonry techniques, without a working flue. In other words, they could again be built at the same angle as the exterior walls, but it would be solid brick, with no airspace, from the foundation to the top of the chimney.
- The structure of the house could be repaired and the exterior walls “plumbed” as much as possible. Then, the chimneys could be built back plumb and level from the foundation to the sky.
- A wood framed structure could be built, and thin bricks could be applied to the exterior of the wood structure. This would be similar to the way imitation stone is installed. One section may be wood studs, exterior plywood sheathing, felt paper, metal lath, a mortar scratch coat, and then the ½” thick brick pavers would be thinset to the scratch coat, similar to tile. Mortar could then be installed between the brick pavers to give the same appearance as typical brick veneer construction.
- A different material, besides brick veneer, could be used. Options may include wood, cement board siding, or any number of other materials.
- Build two symmetrical rooftop chimney stacks (masonry or veneer) that align with the outside wall (not overhanging or encroaching on the eave) and give the symmetrical appearance of an interior chimney at each end of the house.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- If the Board cannot approve an option presented to mitigate the chimney removal, the property will remain in violation and the violation will be turned over to Municipal Court.

COMMENTS _____

ACTION TAKEN _____



1314/1316 South Hull Street



1314/1316 South Hull Street



Partially removed chimney on College Street.

1314/1316 South Hull Street

7. PRESENTED BY: Robert & Brandy Price

SUBJECT: Request for approval of constructed related alterations to a previously approved plan for the property located at 740 Felder Avenue (Old Cloverdale).

REMARKS: This item is a place holder for changes that may need to be made while the project is under construction in order to keep the project on schedule. At this time, no revisions to the plan are being requested.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

COMMENTS _____

ACTION TAKEN _____